ECOLE ALBERNI ELEMENTARY

2025 TARGETED ROOF REPLACEMENT

4645 Helen Street, Port Alberni, BC

IMAGE COURTESY: GOOGLE EARTH

rjc Creative Thinking Practical Results

Read Jones Christoffersen Ltd.
Engineers
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238 Franklyn Street, Unit 105
Nanaimo, BC V9R 2X4 Canada
tel 250-716-1550

No.	Revision	Date	By
	ISSUED FOR BID	2025/06/18	PD

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
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Seal

PROFESSIONAL ENGINEER
PROVINCE OF BRITISH COLUMBIA
P.J. DIAS
40653
2025-06-18

EGBC Permit to Practice No. 1002503

Project Name

ECOLE ALBERNI ELEMENTARY 2025 TARGETED ROOF REPLACEMENT

4645 Helen St, Port Alberni, BC

Sheet Title

COVER SHEET

Drawn By	**RC**	Scale	
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number			**NAN.141603.0001**

Sheet Number **R-0.0** Revision

2025-06-18 8:36:05 AM

TEMPORARY WORKS

1. THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN, REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY WORKS REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORKS.
2. IN THE EXECUTION OF THE TEMPORARY WORKS AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE WORKS IN PLUMB AND ALIGNMENT AND FREE FROM EXCESSIVE DEFLECTION.
3. ACCESS OF HEAVY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE FLOORS ARE NOT PERMITTED, UNLESS SUCH HAVE BEEN ACCOUNTED FOR IN THE CONTRACTOR'S TEMPORARY WORK DESIGN TO THE SATISFACTION OF THE CONSULTANT.
4. COSTS OF ALL TEMPORARY WORKS ARE TO BE INCLUDED IN THE CONTRACT PRICE.
5. SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORKS FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA.

HOARDING AND PHASING

1. IN GENERAL, THE WORK IS TO BE UNDERTAKEN AS COORDINATED BY THE CONTRACTOR WITH THE OWNER, WITH BUILDING STAFF IN ORDER TO MAINTAIN ACCESS TO THE BUILDING, ROOF, ROOF DECK AND PARKING AREAS. EMERGENCY/ FIRE VEHICLE ACCESS MUST BE MAINTAINED AT ALL TIMES. ACCESSIBILITY MUST BE MAINTAINED AT ALL TIMES - THIS INCLUDES CONSTRUCTION OF TEMPORARY RAMPS AT LOCATIONS INCLUDING BUT NOT LIMITED TO BUILDING ENTRANCES AND EXITS.
2. INSTALL AND MAINTAIN HOARDING IN ACCORDANCE WITH THE REQUIREMENTS AS OUTLINED IN SECTION 01 56 00. CONTRACTOR'S WORK AREA TO BE FULLY ENCLOSED.
3. CONTRACTOR TO ENSURE ACCESS TO WORK AREA IS RESTRICTED TO CONTRACTOR'S STAFF, CONSULTANT AND OWNER.
4. WALKWAYS SHALL BE CONSTRUCTED AS NEEDED TO MAINTAIN SAFE ACCESS TO ALL STAIRS, BUILDING ENTRANCES/ EXITS AND OTHER SERVICE AREAS THAT REQUIRE ACCESS SO AS TO PROTECT BUILDING STAFF USING SUCH ROOMS. ACCESSIBLE ACCESS/ EGRESS MUST BE MAINTAINED AT ALL TIMES.
5. PROVIDE A MEANS TO PROTECT THE OCCUPIED SPACE FROM WATER DAMAGE BETWEEN REMOVAL AND REPLACEMENT OF THE WATERPROOFING SYSTEMS.

WOOD FRAMING - GENERAL

1. ALL LOADS AND DESIGN SHALL CONFORM TO PART 4 OF BRITISH COLUMBIA BUILDING CODE. ALL DETAILS, MATERIALS, NAILING, AND CONSTRUCTION PROCEDURES SHALL CONFORM TO PART 9 AS A MININUM.
2. ANY CHANGES TO THE FRAMING SHOWN ON THESE DRAWINGS SHALL HAVE PRIOR WRITTEN APPROVAL OF RJC. FRAMING CHANGES WHICH HAVE NOT BEEN SO APPROVED WILL BE REJECTED.
3. CONFIRM ALL DIMENSIONS AND OUTLINES WITH THE ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DIMENSIONS, ELEVATIONS AND DETAILS.
4. ANY TIMBER NOT GRADE MARKED WILL BE REJECTED.
5. FINISHES SHALL BE DETAILED TO ACCOMMODATE SHRINKAGE OF THE TIMBER OVER TIME.
6. DO NOT COVER WOOD FRAMING WITH FINISHES UNTIL RJC'S FRAMING REVIEW IS COMPLETE. PROVIDE 24 HOURS ADVANCE NOTIFICATION WHEN FRAMING REVIEWS ARE REQUIRED.
7. NOTCHING AND DRILLING OF STRUCTURAL ELEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH IN THE BUILDING CODE PART 9, UNLESS OTHERWISE APPROVED IN WRITING BY RJC.
8. ALL TIMBER ELEMENTS ARE DESIGNED FOR DRY-SERVICE CONDITIONS UNLESS NOTED OTHERWISE. SEE ARCHITECTURAL DRAWINGS FOR WATERPROOFING AND VENTILATION DETAILS.
9. ALL WOOD FRAME CONSTRUCTION SHALL SATISFY THE FOLLOWING CONSTRUCTION TOLERANCES AS A MINIMUM. REFER TO ARCHITECTURAL AND WARRANTY REQUIREMENTS FOR ADDITIONAL TOLERANCE SPECIFICATIONS.
   - A. FLOORS - NOT MORE THAN 1/4" IN 10'-0" OUT OF LEVEL.
   - B. WALLS - NOT MORE THAN 1/4" IN 8'-0" OUT OF PLUMB.
     - NOT MORE THAN 1/4" IN 10'-0" FOR ANY BOWING.
   - C. OVERALL - BUILDING WALLS AND FLOORS SHALL NOT BE MORE THAN 3/8" DIFFERENCE IN MEASUREMENT FROM DIMENSIONS SHOWN ON CONTRACT DOCUMENTS.

WOOD FRAMING - MATERIALS

1. ALL DIMENSION LUMBER TO BE SURFACED FOUR SIDES ("S4S").
2. PLYWOOD TO BE DOUGLAS FIR PLYWOOD (DFP): REGULAR GRADES OF UNSANDED. CANADIAN SOFTWOOD PLYWOOD (CSP): REGULAR GRADES OF UNSANDED.
3. TIMBER CONNECTION HARDWARE TO BE SIMPSON STRONG-TIE, OR EQUIVALENT APPROVED BY RJC. COMPLETE WITH NAILS SUPPLIED BY MANUFACTURER. DO NOT USE P NAILS.
4. NAILS - SEE "WOOD FRAMING - NAILING".
5. MISCELLANEOUS STEEL TO BE CSA G40.21 OR APPROVED EQUIVALENT.
6. ANCHOR RODS SHALL BE ASTM F1554 GRADE 36 OR APPROVED EQUIVALENT. ANCHOR RODS SHALL BE DEFORMED, THREADED ALONG THEIR FULL LENGTH OR HOOKED 1 1/2" AT THE BOTTOM.
7. BOLTS SHALL BE ASTM A307 OR APPROVED EQUIVALENT, USED WITH STANDARD CUT STEEL WASHERS UNLESS NOTED OTHERWISE ON DRAWINGS.
8. MOISTURE CONTENT OF ALL TIMBER ELEMENTS SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION OR FABRICATION.
9. ALL FASTENERS AND CONNECTION HARDWARE THROUGH PRESERVATIVE TREATED MATERIALS OR OUTSIDE OF THE MOISTURE BARRIER TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS SPECIFIED.

GENERAL SCOPE OF WORK

1. REFER TO SPECIFICATION SECTION 01 10 01.

ABBREVIATIONS

ACCOM. -- ACCOMMODATE
ALT. -------- ALTERNATE
ALUM. ----- ALUMINUM
ARCH. ----- ARCHITECTURAL
BM. --------- BEAM
BOT. -------- BOTTOM
C.I.P. ------- CAST IN PLACE
CL. --------- CENTER LINE
CLR. -------- CLEAR
COL. -------- COLUMN
CONC. ----- CONCRETE
CONT. ----- CONTINUOUS
C.P. --------- COMPLETE PENETRATION
C/W ------- COMPLETE WITH
DET. -------- DETAIL
D.L. --------- DEAD LOAD
DP. --------- DEEP (E.G. DEPTH OF BEAM)
D.T.S. ------ DEPTH TO SUIT
DWG. ------ DRAWING
EA. --------- EACH
ELEV. ------ ELEVATION
ELEC. ------ ELECTRICAL
EQ. --------- EQUAL
EXIST. ----- EXISTING
EXP. JT. --- EXPANSION JOINT
EXT. -------- EXTERIOR
F.D. --------- FLOOR DRAIN
FTG. -------- FOOTING
GA. --------- GAUGE
GALV. ------ GALVANIZED
G.L. --------- GRID LINE
G.W.B. ----- GYPSUM WALL BOARD
H., HORIZ.- HORIZONTAL
H.D.G. ----- HOT-DIP GALVANIZED
HT. --------- HEIGHT
INT. --------- INTERIOR
JT. --------- JOINT
LG. --------- LONG
L.L. --------- LIVE LOAD
L.T.S. ------ LENGTH TO SUIT
L.V. --------- LENGTH VARIES
MAX. ------ MAXIMUM
MECH. ----- MECHANICAL
MIN. -------- MINIMUM
(N) --------- NEW
N.I.C. ------ NOT IN CONTRACT
N.T.S. ----- NOT TO SCALE
O.C. -------- ON CENTER
O/C -------- ON CENTER
OPP. -------- OPPOSITE
O.W.S.J. --- OPEN WEB STEEL JOIST
P.T. -------- PRESERVATIVE TREATED
P/T -------- POST-TENSIONING
R.D. -------- ROOF DRAIN
REQ'D ----- REQUIRED
R.O. -------- ROUGH OPENING
R/W -------- REINFORCED WITH
R.W.L. ----- RAIN WATER LEADER
S.A.M. ----- SELF-ADHERED MEMBRANE
S.D.L. ------ SUPERIMPOSED DEAD LOAD
SIM. -------- SIMILAR
S.L. --------SNOW LOAD
SLS -------SERVICEABILITY LIMIT STATE
S.O.G. ----- SLAB ON GRADE
SPEC. ------ SPECIFICATIONS
S.S. -------- STAINLESS STEEL
S.S.T. ------ SIMPSON STRONG-TIE
SYM. ------ SYMMETRICAL
T&B --------- TOP AND BOTTOM
T.D.C. ------ TRAFFIC DECK COATING
THK. -------- THICK
THRU ----- THROUGH
T.O. -------- TOP OF
TYP. -------- TYPICAL
ULS --------- ULTIMATE LIMIT STATE
U.N.O. ------ UNLESS NOTED OTHERWISE
U/S --------- UNDERSIDE
V., VERT. - VERTICAL
W/ ---------- WITH

RENOVATIONS

1. REVIEW BY RJC OF THE EXISTING CONDITIONS IS LIMITED ONLY TO THE ELEMENTS IMPACTED BY THE RENOVATION WORK SHOWN IN THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING BUILDING STRUCTURE AND ASSUMPTIONS IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITIONS.
3. MINOR MODIFICATIONS WILL BE REQUIRED TO THE WORK INDICATED ON THESE DRAWINGS TO REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH RJC IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CONTRACT PRICE.
4. ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR COORDINATION.
5. PRIOR TO FABRICATION OF ANY STRUCTURAL MEMBERS, THE CONTRACTOR SHALL COMPLETE THIS SITE REVIEW OF CRITICAL "TIE-IN" DIMENSIONS AND CONFIRM ALL DIMENSIONS TO ENSURE PROPER FIT OF NEW WORK TO EXISTING. REPORT ANY DISCREPANCIES TO RJC PRIOR TO STARTING WORK.
6. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.
7. ANY OPENINGS THAT ARE NOT SHOWN OR INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE REPORTED TO RJC FOR REVIEW. THESE OPENINGS MAY NOT BE ALLOWED, MAY HAVE TO BE MOVED, OR MAY REQUIRE ADDITIONAL STRUCTURAL WORK AND DETAILING. DO NOT PROCEED WITH THESE OPENINGS WITHOUT WRITTEN PERMISSION FROM RJC.
8. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION.
9. DO NOT OVERLOAD THE STRUCTURE. ENSURE ALL REASONABLE PRECAUTIONS ARE TAKEN TO PREVENT DAMAGE TO THE UNDERLYING STRUCTURES REMAINING IN PLACE. PROVIDE SHORING AS NECESSARY TO PREVENT OVERLOADING THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
10. CONTRACTOR TO ENSURE THAT EXISTING AIR AND VAPOUR BARRIERS ARE MAINTAINED IN AREAS OF CONSTRUCTION. ANY INADEQUACIES IN AIR OR VAPOUR BARRIERS TO BE BROUGHT TO THE ATTENTION OF RJC.
11. FOR FASTENING TO EXISTING MATERIALS, USE ONLY PRODUCTS AS SPECIFIED UNLESS ALTERNATIVES HAVE BEEN PREAPPROVED BY RJC.

ROOFING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL ITEMS ELECTED FOR USE ARE COMPATIBLE WITH EACH OTHER AND EXISTING MATERIALS.
2. CONFORM TO LATEST GUARANTEE STANDARDS OF ROOFING CONTRACTORS ASSOCIATION OF BRITISH COLUMBIA (RCABC) AS PUBLISHED IN THE RCABC ROOFING PRACTICES MANUAL, UNLESS MODIFIED BY CONTRACT DOCUMENTS TO EXCEED THOSE MINIMUMS.
3. REFER TO SPECIFICATIONS FOR MATERIALS AND SYSTEMS.

GENERAL

1. SECTION MARK SHOWN THUS 4/3.1 MEANS SECTION #4 ON DRAWING R-3.1.
2. THE GENERAL CONTRACTOR SHALL REVIEW ALL THE DRAWINGS AND CHECK DIMENSIONS BEFORE CONSTRUCTION. REPORT DISCREPANCIES BETWEEN STRUCTURAL AND OTHER DISCIPLINES DRAWINGS FOR CLARIFICATION.
3. WOOD FRAME WORK
   SHALL CONFORM TO CSA 086 AND [BRITISH COLUMBIA BUILDING CODE 2024] [CITY OF VANCOUVER BUILDING BY-LAW 2019] PART 9
4. DO NOT CUT OR DRILL ANY OPENINGS IN STRUCTURAL MEMBERS WITHOUT WRITTEN PERMISSION OF RJC.
5. DEFINITIONS:
   - A. RJC: READ JONES CHRISTOFFERSEN OR ITS REPRESENTATIVE.
   - B. GENERAL CONTRACTOR: FOR THE PURPOSES OF THESE DRAWINGS, THE USE OF THE TERM "CONTRACTOR" OR "GENERAL CONTRACTOR" SHALL REFER TO THE PRIME PERSON OR COMPANY RESPONSIBLE FOR CONSTRUCTION OF THE PROJECT AND THE COORDINATION OF TRADES AND SUBCONTRACTORS. THIS MAY BE THE GENERAL CONTRACTOR, OR A CONSTRUCTION MANAGER.
6. FOR PLANS AND DETAILS:
   ELEMENTS SHOWN FADED (GRAYSCALE) ARE EXISTING OR NOT BY RJC. (i.e., - - - - - - ————).
   ELEMENTS SHOWN DARK (BLACK) ARE NEW. (i.e., ————).

DESIGN CODE

1. THE COMPLETED ROOF REPLACEMENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED IN SUBSTANTIAL ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2024 AND RCABC RPM WHICH IS BASED ON THE NATIONAL BUILDING CODE OF CANADA 2020.

FIELD REVIEW BY READ JONES CHRISTOFFERSEN (RJC)

1. READ JONES CHRISTOFFERSEN PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS CONDUCTED WITH SUCH FREQUENCY AS RJC DEEMS APPROPRIATE TO OBSERVE VARIOUS STAGES OF THE WORK AND TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY READ JONES CHRISTOFFERSEN. FIELD REVIEW BY READ JONES CHRISTOFFERSEN IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE READ JONES CHRISTOFFERSEN GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. RJC SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. PROVIDE 24 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC.
3. THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE AND NOT COVERED BY FINISHES. ADDITIONAL SITE VISITS MAY BE REQUIRED AS A RESULT OF DEFICIENT OR INCOMPLETE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SAFE ACCESS FOR RJC TO REVIEW THE WORK.

SHOP DRAWINGS

1. AS PART OF OUR CONSTRUCTION PHASE SERVICES, RJC WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON RJC'S DRAWINGS BY MEANS OF APPROPRIATE RATIONAL SAMPLING PROCEDURES AND COMMENT ON THE ACCURACY WITH WHICH THE CONTRACTOR PREPARED THE DRAWINGS.
2. REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS NOT AN APPROVAL OF THE DETAILED DESIGN INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS AND FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DRAWINGS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INFORMATION PERTAINING TO THE FABRICATION PROCESS, TECHNIQUES FOR CONSTRUCTION AND INSTALLATION, AND FOR CO-ORDINATION OF THE WORK OF ALL SUB-TRADES.
3. FOR SPECIFIC SHOP DRAWING SUBMITTAL REQUIREMENTS, SEE APPROPRIATE MATERIAL SECTIONS AND THE SPECIFICATIONS.
4. SHOP DRAWINGS SHALL BE COMPLETE AND INCLUDE ANY REQUIRED SEALS FROM A PROFESSIONAL ENGINEER REGISTERED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED PRIOR TO SUBMISSION.
5. ALL SHOP DRAWINGS COMPRISING A REVISED SUBMISSION SHALL INDICATE THE REVISED CONTENT BY MEANS OF CLOUDING OR OTHER SUITABLE MARKINGS.

STAGING

1. CONTRACTOR TO PROVIDE SAFE ACCESS TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY BE COMPRISED OF: SCAFFOLDING, STAGING, SWING STAGES, FALSE WORK, COMBINATIONS OF THE PROCEEDING OR OTHER METHODS APPROVED BY WORKSAFEBC.
2. ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK. CONTRACTOR TO SUBMIT A PLAN OF THE BUILDING (PROVIDED) INDICATING THE TYPE OF ACCESS TO BE EMPLOYED ON EACH PORTION OF THE BUILDING.
3. ALL ACCESS SHALL BE CAPABLE OF RESISTING ITS DEAD LOAD AND THE LIVE LOAD OF THE WORKERS AND STORED MATERIALS. LIVE LOADING TO CONFORM TO CAN/CSA S269.2 M87, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1.(B).
4. PHASING OF ACCESS IS ACCEPTABLE.
5. REFERENCE: BRITISH COLUMBIA OCCUPATIONAL HEALTH AND SAFETY REGULATION

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Seal

EGBC Permit to Practice No. 1002503

Project Name

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4645 Helen St, Port Alberni, BC

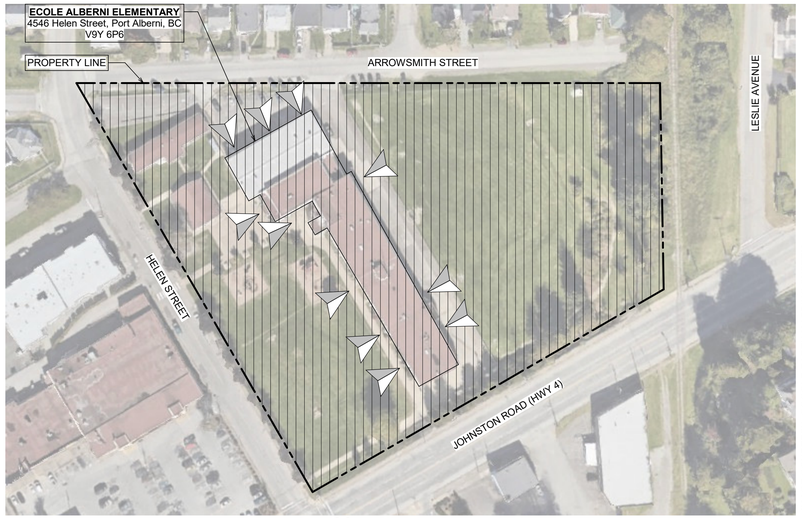
Sheet Title

GENERAL NOTES

Drawn By	**RC**	Scale	**As Indicated**
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number		**NAN.141603.0001**	

Sheet Number **R-1.1** Revision

2025-06-18 8:36:05 AM



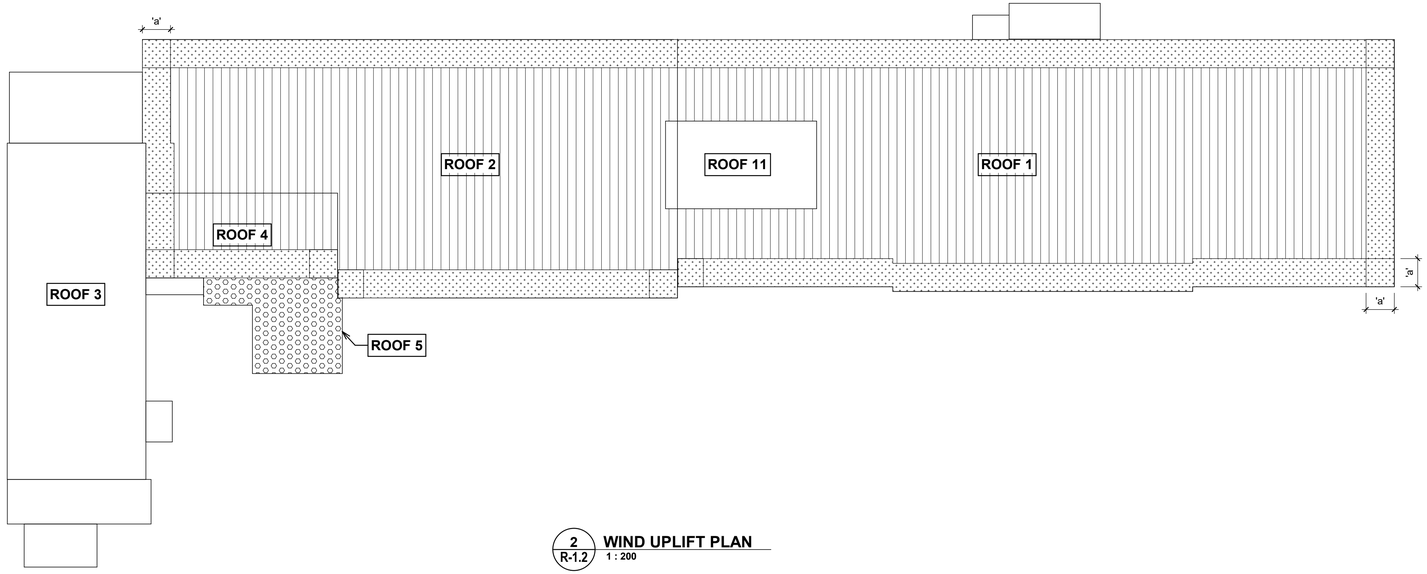
TRUE NORTH PROJECT NORTH

1 R-1.2 **LOCATION PLAN** N.T.S.

LEGEND

BUILDING ENTRANCE: MAINTAIN 24HR ACCESS AND PROVIDE OVERHEAD PROTECTION PER SPECIFICATION SECTION 01 56 00

PROPERTY LINE



TRUE NORTH PROJECT NORTH

2 R-1.2 **WIND UPLIFT PLAN** 1 : 200

FACTORED WIND UPLIFT LOADING PLAN LEGEND

ROOF 1, 2 AND 4

-2.16 kPa - CORNER/ EDGE

-0.87 kPa - FIELD

ROOF 5

-0.89 kPa

END ZONE WIDTH 'a' = 2000 mm

NOTE:

1. FOLLOWING AWARD OF CONTRACT AND PRIOR TO COMMENCEMENT OF THE WORK, CONSULTANT WILL ISSUE WIND UPLIFT SHOP DRAWINGS SHOWING ADHESIVE REQUIREMENTS.

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Sheet Title

LOCATION PLAN AND WIND UPLIFT PLAN

Drawn By	**RC**	Scale	**As indicated**
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number	**NAN.141603.0001**		

Sheet Number **R-1.2** Revision

2025-06-18 8:36:05 AM

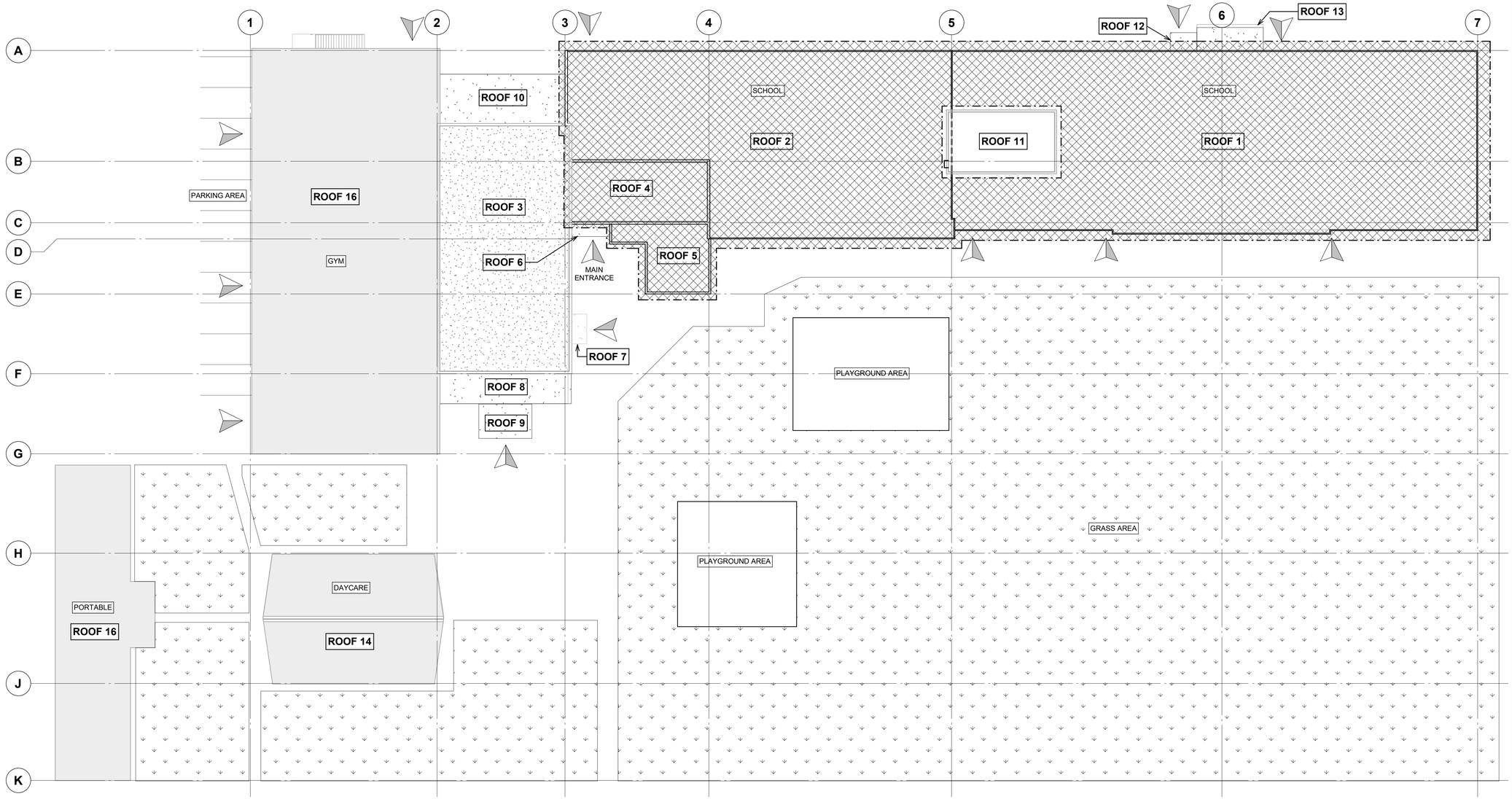
LEGEND

BUILDING ENTRANCE: MAINTAIN 24HR ACCESS AND PROVIDE OVERHEAD PROTECTION PER SPECIFICATION SECTION 01 56 00

AREA OF WORK

TRUE NORTH

PROJECT NORTH



1 / R-1.3 **SITE PLAN**
1 : 200

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Sheet Title

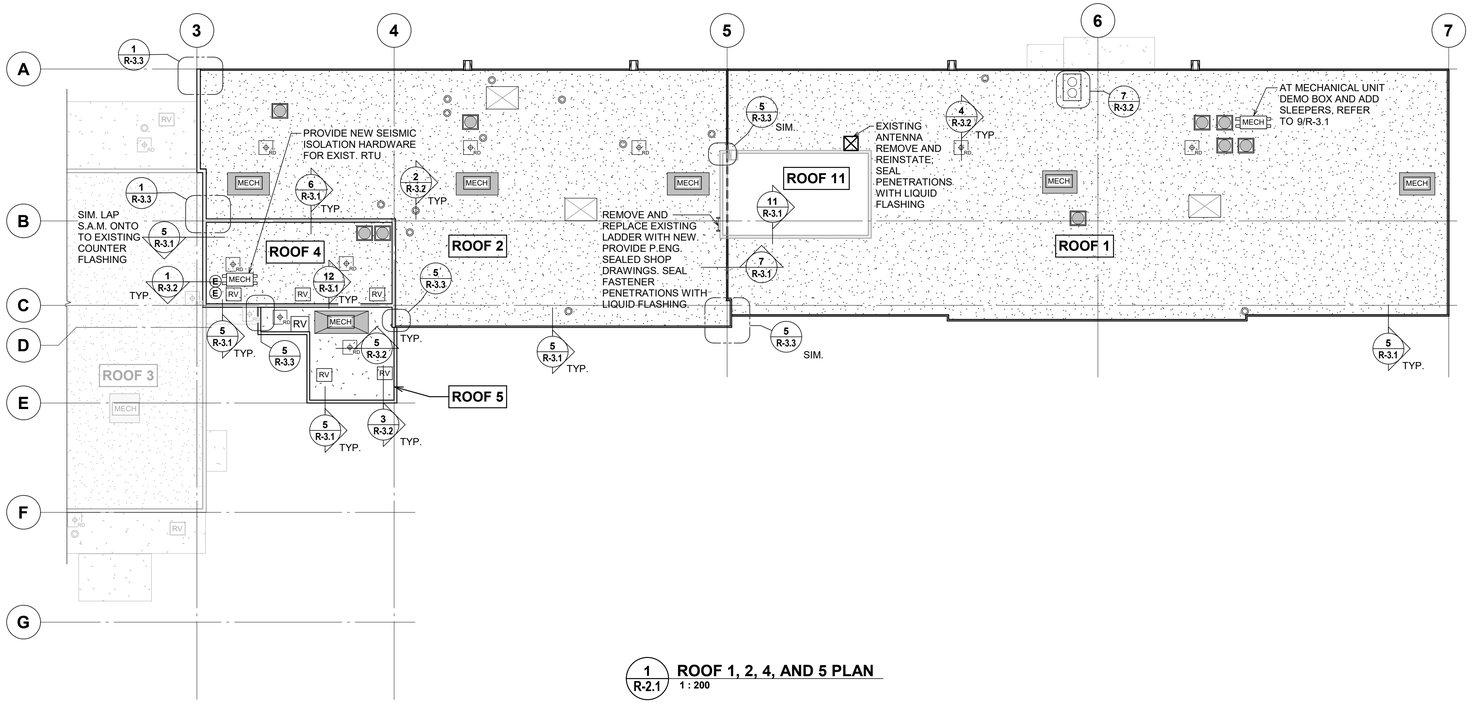
SITE PLAN

Drawn By	**RC**	Scale	**As indicated**
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number			**NAN.141603.0001**

Sheet Number: **R-1.3**

Revision

2025-06-18 8:36:05 AM



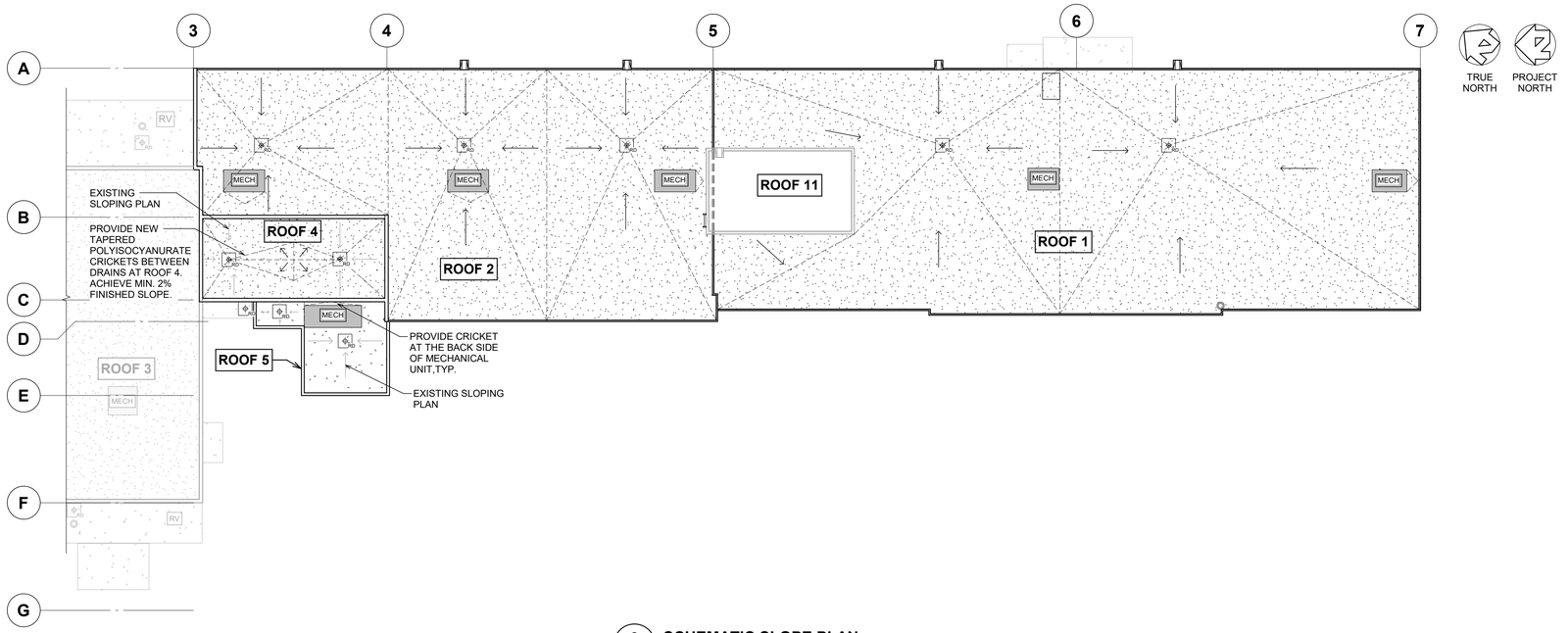
1 R-2.1 **ROOF 1, 2, 4, AND 5 PLAN**
1 : 200

TRUE NORTH

PROJECT NORTH

LEGEND

- ROOF DRAIN - REMOVE AND REPLACE EXISTING ROOF DRAIN WITH NEW ROOF DRAIN IN EXISTING LOCATIONS, 1000 X 1000 SUMP AROUND DRAIN, TYP. REFER TO 4/R-3.2 AND 5/R-3.2
- NEW OVERFLOW SCUPPER C/W CLAMPING PER RCABC RPM
- EXISTING ROOF VENT TO BE REPLACED WITH NEW. REFER TO 3/R-3.2
- EXISTING MECHANICAL VENT REMOVE AND REINSTATE ON EXISTING CURB, REFER TO 10/R-3.1
- EXISTING EXHAUST VENT REMOVE AND REINSTATE ON EXISTING CURB,, REFER TO 10/R-3.1
- EXISTING MECHANICAL UNIT ON NEW SLEEPERS. REFER TO 9/R-3.1
- EXISTING MECHANICAL UNIT AT ROOF 5 TO REMAIN, REFER TO 8/R-3.1
- EXISTING PENETRATION - PROVIDE NEW BLOCKING BETWEEN FRAMING MEMBERS AND NEW ROOF SHEAHTING TO INFILL ROOF OPENING. PROVIDE NEW ROOF ASSEMBLY CONTINUOUS OVER EXISTING OPENING.
- EXISTING ELECTRICAL CONDUIT PENETRATIONS TO BE REPLACED WITH NEW. REFER TO 1/R-3.2
- EXISTING EXHAUST STACKS/ELECTRICAL CONDUIT PENETRATIONS TO BE REPLACED WITH NEW. REFER TO 2/R-3.2
- DIRECTION OF SLOPE, MIN. 2% SLOPE FOR FINISHED ROOF SURFACE.
- CRICKETS/CHANGE IN DIRECTION OF SLOPE



TRUE NORTH

PROJECT NORTH

2 R-2.1 **SCHEMATIC SLOPE PLAN**
1 : 200

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Nanaimo, BC V9R 2X4 Canada
tel 250-716-1550

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	ISSUED FOR BID	2025/06/18	PD

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Seal

EGBC Permit to Practice No. 1002503

Project Name

ECOLE ALBERNI ELEMENTARY 2025 TARGETED ROOF REPLACEMENT

4645 Helen St, Port Alberni, BC

Sheet Title

ROOF PLAN

Drawn By	**RC**	Scale	**As indicated**
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number	**NAN.141603.0001**		

Sheet Number **R-2.1**

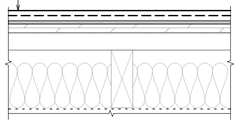
Revision

2025-06-18 8:36:06 AM

NOTE:
NAIL EXISTING SHEATHING TO FRAMING W/ 63mm
NAILS @ 150 O/C AT PANEL EDGES, 300 O/C IN FIELD

NEW TYPICAL LOW-SLOPE ROOF ASSEMBLY
ROOF 4 AND 5

- (N) CAP SHEET (TORCHED)
- (N) ASPHALTIC PROTECTION BOARD OR HIGH-DENSITY INSULATION PANEL WITH FACTORY LAMINATED BASE SHEET
- (E) PLYWOOD DECK
- (E) TAPERED WOOD SLEEPERS
- (E) TIMBER FRAMING
- (E) BATT INSULATION
- (E) AIR/VAPOUR BARRIER (ASSUMED)

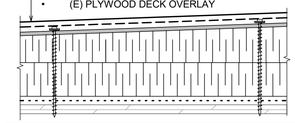


4 R-3.1 TYPICAL NEW LOW-SLOPE ROOF ASSEMBLY AT ROOF 4 AND 5
1 : 5

NOTE:
NAIL EXISTING SHEATHING TO FRAMING W/ 63mm
NAILS @ 150 O/C AT PANEL EDGES, 300 O/C IN FIELD

NEW TYPICAL LOW-SLOPE ROOF ASSEMBLY
ROOF 1 AND 2

- (N) CAP SHEET (TORCHED)
- (N) ASPHALTIC PROTECTION BOARD OR HIGH-DENSITY INSULATION PANEL WITH FACTORY LAMINATED BASE SHEET
- (N) 2% POLYISOCYANURATE SLOPE PACKAGE
- (N) 51mm POLYISOCYANURATE BASE INSULATION (2 LAYERS OF 25.4mm)
- (N) AIR/VAPOUR BARRIER (SELF ADHERED)
- (E) PLYWOOD DECK OVERLAY

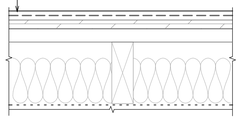


NOTE:
REFER TO ALTERNATE PRICE ITEMS 1.2 AND 1.3
REGARDING ALTERNATE SLOPE PACKAGE ARRANGEMENT

3 R-3.1 TYPICAL NEW LOW-SLOPE ROOF ASSEMBLY AT ROOF 1 AND 2
1 : 5

EXISTING ROOF ASSEMBLY
ROOF 4 AND 5

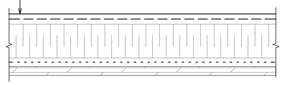
- (E) CAP SHEET
- (E) BASE SHEET
- (E) PLYWOOD DECK
- (E) TAPERED WOOD SLEEPERS
- (E) TIMBER FRAMING
- (E) INSULATION
- (E) AIR/VAPOUR BARRIER (ASSUMED)



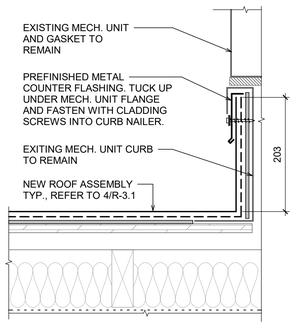
2 R-3.1 EXISTING ROOF ASSEMBLY AT ROOF 4 AND 5
1 : 5

EXISTING ROOF ASSEMBLY
ROOF 1 AND 2

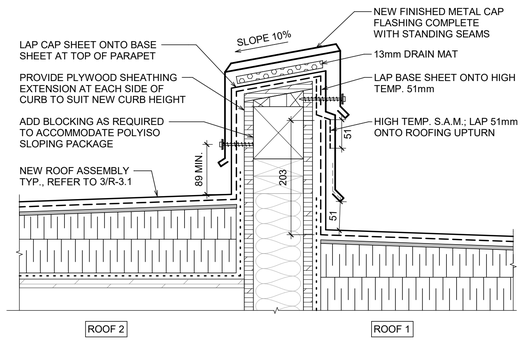
- (E) CAP SHEET
- (E) HOT-MOPPED BASE SHEET
- (E) FIBRE BOARD
- (E) 51mm POLYISOCYANURATE BASE INSULATION
- (E) HOT-MOPPED VAPOUR BARRIER
- (E) PLYWOOD DECK OVERLAY



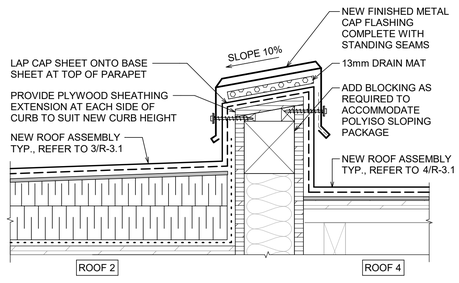
1 R-3.1 EXISTING ROOF ASSEMBLY AT ROOF 1 AND 2
1 : 5



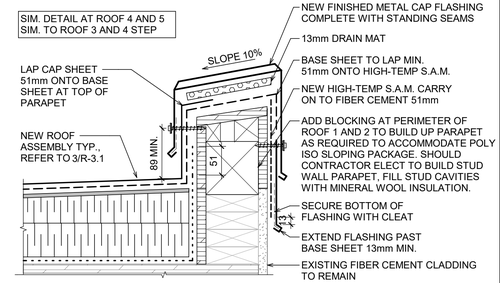
8 R-3.1 TYPICAL MECHANICAL VENT CURB DETAIL AT ROOF 5



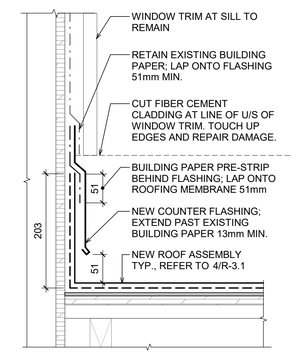
7 R-3.1 TYPICAL CURB BETWEEN ROOF 1 AND 2
1 : 5



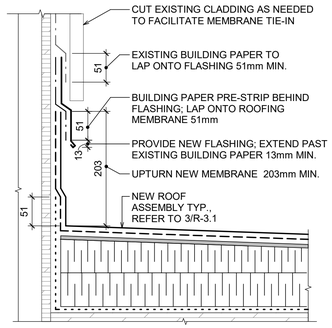
6 R-3.1 TYPICAL CURB BETWEEN ROOF 2 AND 4
1 : 5



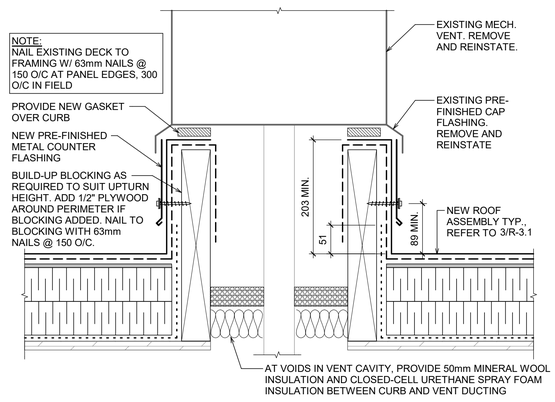
5 R-3.1 TYPICAL ROOF PARAPET DETAIL AT ROOF 1 AND 2
1 : 5



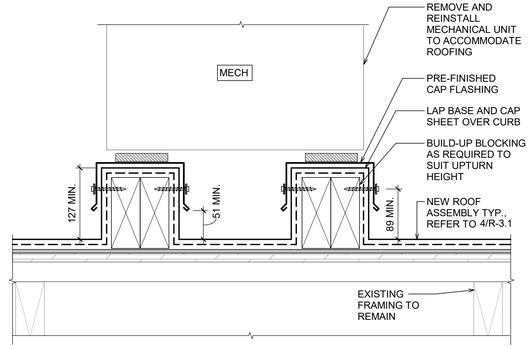
12 R-3.1 UPTURN AT BASE OF WALL AT ROOF 5
1 : 5



11 R-3.1 TRANSITION WALL DETAIL AT ROOF 1 TO ROOF 11
1 : 5



10 R-3.1 TYPICAL MECHANICAL VENT CURB DETAIL AT ROOF 1 AND 2 SIM. ROOF 4 AND 5
1 : 5



9 R-3.1 TYPICAL MECHANICAL SLEEPER DETAIL AT ROOF 4
1 : 5

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EGBC Permit to Practice No. 1002503

Project Name

ECOLE ALBERNI ELEMENTARY 2025 TARGETED ROOF REPLACEMENT

4645 Helen St, Port Alberni, BC

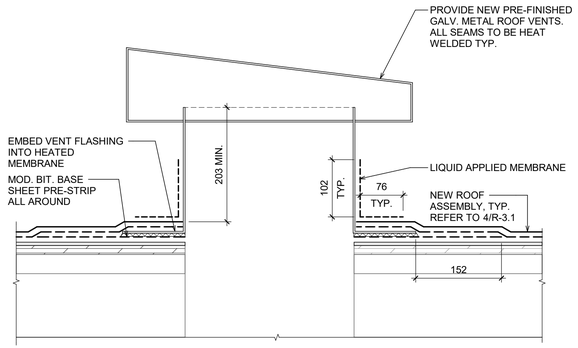
Sheet Title

LOW-SLOPE ROOF DETAILS

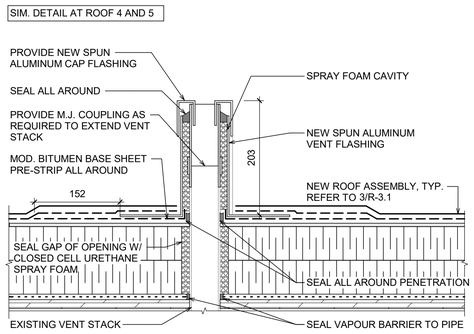
Drawn By	**RC**	Scale	**1 : 5**
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number		**NAN.141603.0001**	

Sheet Number **R-3.1** Revision

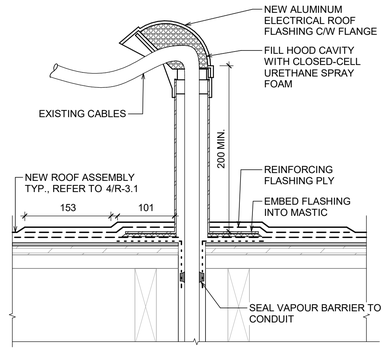
2025-06-18 8:36:06 AM



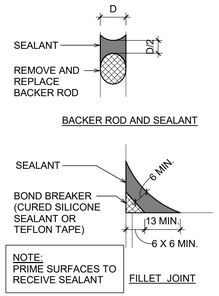
3 / R-3.2 TYPICAL ROOF 4 AND 5 VENT
1 : 5



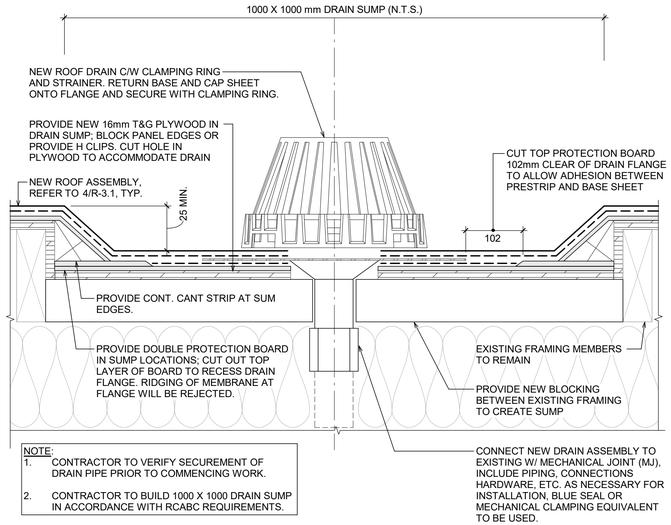
2 / R-3.2 TYPICAL STACK VENT AT ROOF 1 AND 2
1 : 5



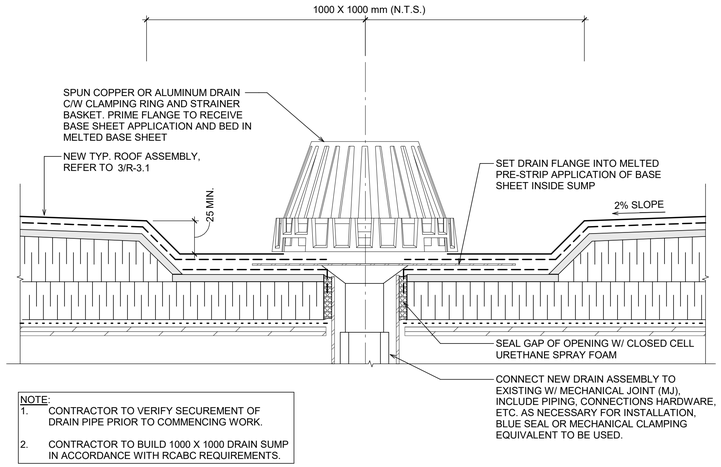
1 / R-3.2 TYPICAL ELECTRICAL CONDUIT GOOSENECK
1 : 5



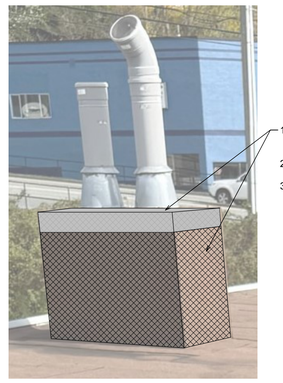
6 / R-3.2 TYPICAL BACKER ROD AND SELANT AND TYPICAL FILLET JOINT
N.T.S.



5 / R-3.2 TYPICAL NEW ROOF DRAIN AT ROOFS 4 AND 5
N.T.S.



4 / R-3.2 TYPICAL NEW ROOF DRAIN AT ROOF 1 AND 2
N.T.S.



1. REMOVE EXISTING MEMBRANE ON VENT CURB. FILL CAVITY WITH MINERAL WOOL INSULATION.
2. APPLY NEW 2-PLY SBS MODIFIED BITUMEN MEMBRANE UP AND OVER VENT CURB.
3. PROVIDE 2-COMPONENT REINFORCED PMMA FLASHING MEMBRANE ON TOP SURFACE OF VENT CURB. RETURN DOWN SIDES OF VENT CURB 102mm TYP.

7 / R-3.2 ROOF PENETRATION CURB AT ROOF 2
N.T.S.

rjc Creative Thinking Practical Results

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2025-06-18

EGBC Permit to Practice No. 1002503

Project Name

ECOLE ALBERNI ELEMENTARY 2025 TARGETED ROOF REPLACEMENT

4645 Helen St, Port Alberni, BC

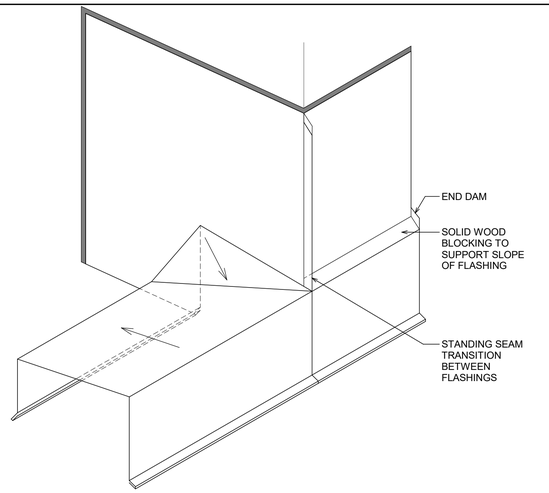
Sheet Title

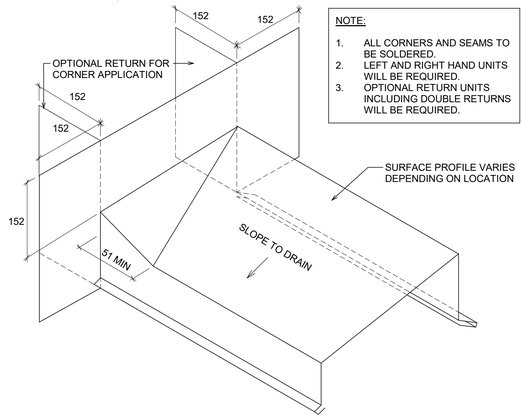
LOW-SLOPE ROOF DETAILS

Drawn By	RC	Scale	1 : 5
Designed By	SC/MC	Date	June 18, 2025
RJC Project Number		NAN.141603.0001	

Sheet Number: **R-3.2**
Revision

2025-06-18 8:36:06 AM

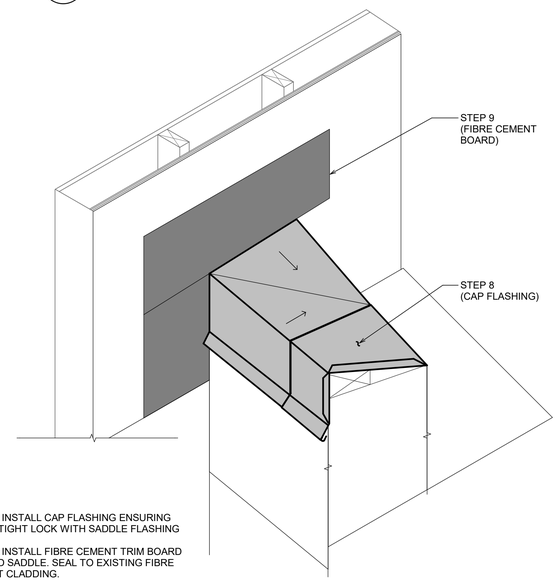




NOTE:

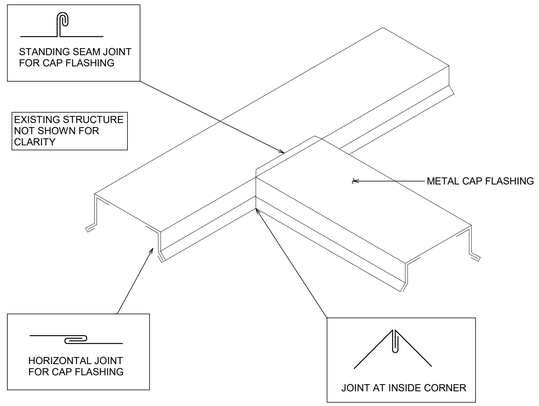
1. ALL CORNERS AND SEAMS TO BE SOLDERED.
2. LEFT AND RIGHT HAND UNITS WILL BE REQUIRED.
3. OPTIONAL RETURN UNITS INCLUDING DOUBLE RETURNS WILL BE REQUIRED.

3 R-3.3 TYPICAL SADDLE FLASHING PROFILES
N.T.S.

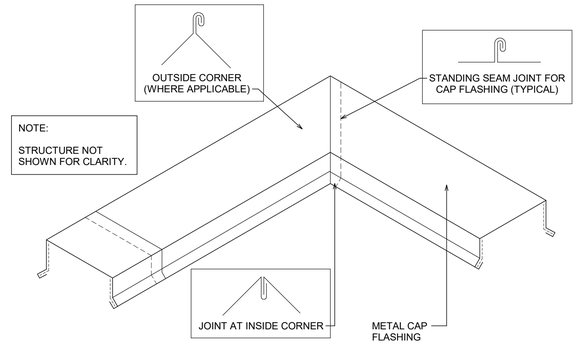


STEP 8: INSTALL CAP FLASHING ENSURING WATERTIGHT LOCK WITH SADDLE FLASHING

STEP 9: INSTALL FIBRE CEMENT TRIM BOARD AROUND SADDLE. SEAL TO EXISTING FIBRE CEMENT CLADDING.



2 R-3.3 TYPICAL FLASHING DETAIL AT CURB JUNCTION
N.T.S.



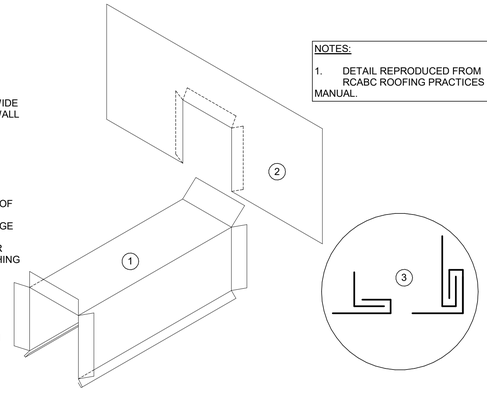
1 R-3.3 TYPICAL FLASHING DETAIL AT CORNER
N.T.S.

FABRICATION PROCEDURE:

1. METAL CAP FLASHING: CUT TO FORM A 25 mm WIDE FLANGE FOR SEAM FABRICATION AT CAP FLASHING/WALL TRANSITIONS. FASTEN OUTSIDE WITH CONTINUOUS CONCEALED CLIP-TYPE FASTENERS OR WITH TWO CONCEALED DISCONTINUOUS CLIPS OR CLADDING SCREWS EVENLY SPACED BETWEEN SEAMS. CAP FLASHING OVER 102 mm IN WIDTH MUST PROVIDE POSITIVE SLOPE TO ROOF AREA.

2. GUSSET FLANGE: SITE FABRICATED A MINIMUM OF 102 mm WIDER THAN THE TOP, INSIDE AND OUTSIDE FACE OF METAL CAP FLASHING. METAL GUSSET FLANGE TO MATCH PROFILE OF CAP FLASHING WITH AN ADDITIONAL ALLOWANCE OF 13 mm OF MATERIAL FOR SEAMING. GUSSET FLANGE MUST LAP UNDER SHEATHING MEMBRANE AND WALL CLADDING OR FINISH BY A MINIMUM OF 76 mm.

3. DOUBLE FOLD SEAM: SITE FORMED STANDING SEAM FOLDED FLAT ON BACK SURFACE OF WALL TRANSITION GUSSET TO FORM DOUBLE FOLD SEAM. OPTIONAL: INSTALL POLYURETHANE CAULKING SEAM TAPE PRIOR TO FORMING DOUBLE FOLDED SEAM.



NOTES:

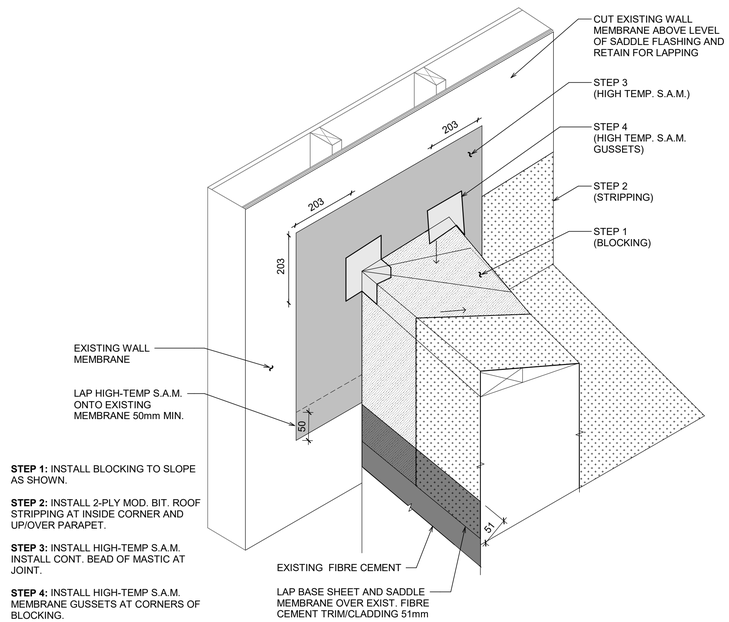
1. DETAIL REPRODUCED FROM RCABC ROOFING PRACTICES MANUAL.

4 R-3.3 TYPICAL SADDLE FLASHING JOINTS
N.T.S.

STEP 5: INSTALL DRAIN MAT OVER MEMBRANE AT PARAPET

STEP 6: INSTALL METAL SADDLE FLASHING C/W TABS FOR SEAMS

STEP 7: LAP EXISTING WALL MEMBRANE (RETAINED FOR LAPPING) OVER SADDLE FLASHING BACK PAN



STEP 1: INSTALL BLOCKING TO SLOPE AS SHOWN.

STEP 2: INSTALL 2-PLY MOD. BIT. ROOF STRIPPING AT INSIDE CORNER AND UP/OVER PARAPET.

STEP 3: INSTALL HIGH-TEMP S.A.M. INSTALL CONT. BEAD OF MASTIC AT JOINT.

STEP 4: INSTALL HIGH-TEMP S.A.M. MEMBRANE GUSSETS AT CORNERS OF BLOCKING.

5 R-3.3 TYPICAL FLASHING DETAIL AT CURB JUNCTION
N.T.S.

Creative Thinking
Practical Results

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Seal

EGBC Permit to Practice No. 1002503

Project Name

ECOLE ALBERNI ELEMENTARY 2025 TARGETED ROOF REPLACEMENT

4645 Helen St, Port Alberni, BC

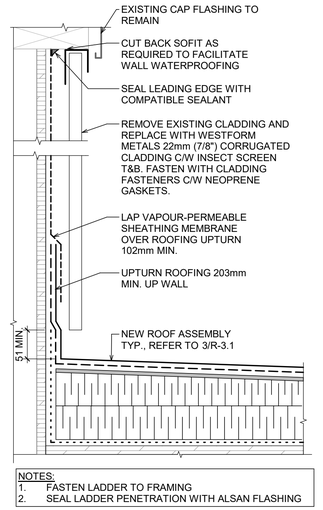
Sheet Title

LOW-SLOPE ROOF DETAILS

Drawn By	**RC**	Scale	**As indicated**
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number		**NAN.141603.0001**	

Sheet Number **R-3.3** Revision

2025-06-18 8:36:06 AM



NOTES:
1. FASTEN LADDER TO FRAMING
2. SEAL LADDER PENETRATION WITH ALSAN FLASHING

1 / R-3.4 **ALTERNATE PRICE - CLADDING REPLACEMENT AT ROOF 11**
1 : 5

rjc Creative Thinking Practical Results

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No.	Revision	Date	By
	ISSUED FOR BID	2025/06/18	PD

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2025-06-18

EGBC Permit to Practice No. 1002503

Project Name

ECOLE ALBERNI ELEMENTARY 2025 TARGETED ROOF REPLACEMENT

4645 Helen St, Port Alberni, BC

Sheet Title

ALTERNATE PRICE ITEMS DETAILS

Drawn By	**RC**	Scale	**1 : 5**
Designed By	**SC/MC**	Date	**June 18, 2025**
RJC Project Number	**NAN.141603.0001**		

Sheet Number **R-3.4** Revision

2025-06-18 8:36:07 AM